
STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: June 7, 2006

SITE PLAN: **AFP-06-019**

TITLE: TALLMAN RESIDENCE

REQUEST: Amendment to Final Plan approval for
addition and deck

ADDRESS: 10 SEVILLE WAY

ZONE: R-90 Cluster (Medium Density Residential)

APPLICANT/REPRESENTATIVE/ATTORNEY/DEVELOPER: (as
applicable)

Applicant: Mr. Rick Macklin, Macklin Contracting Inc.

Owner: Mr. & Mrs. Tallman

STAFF PERSON: Rob Robinson, Planner

Enclosures:

Staff Comments

Exhibit 1: Letter from Mrs. Tallman to the Planning Commission

Exhibit 2: Aerial Location Map

Exhibit 3: Amendment to Final Plan Application

Exhibit 4: House Location Plat with Scaled Additions

Exhibit 5: Notification Mailing List

Exhibit 6: Proposed Addition Plan

Exhibit 7: Proposed Deck Plan

STAFF COMMENTS:

Waiver Request

The Tallman family has submitted a letter (Ex.1) requesting a waiver to the Rules of Procedure so that their application may be heard on the June 7, 2006 hearing date. Staff had erroneously informed the applicant that the proposed addition needed only a residential building permit per §24-168; not aware that properties located in the R-90 Cluster Zone require an Amendment to Final Plan (AFP). Had the applicant been correctly informed, an AFP application could have been submitted in the correct amount of time for the June 7 date. The Planning Commission must make a separate motion granting this waiver prior to the review of this application.

Background

The applicant, Rick Macklin on behalf of the Tallman family, has submitted an application for Amendment to Final Plan (S-609) for 10 Seville Way of the Pheasant Run subdivision (this community does not have an architectural review board). The property is in the R-90 Cluster (Medium Density Residential) Zone. The R-90 Cluster Zone requires all additions be approved by the Planning Commission; since the setbacks are established at the time of the final site plan this is interpreted as requiring Planning Commission approval for any increases to building footprints (S-609B).

Application Request

The applicant is requesting to construct a 14-foot by 20-foot deck (Ex.7) with steps and an 11-foot by 25-foot enclosed kitchen addition (Ex.6) on the north side of the existing home. The addition will be constructed of siding and roofing materials to match the existing house. The windows are also the same design and style as on the existing house. The addition and deck are outside of the 30-foot building restriction lines required by zone.

Recommendation

Staff recommends **approval of AFP-06-019**, finding it in conformance with §24-170; §24-172; and §24-30, Chapter 24 (Zoning) of the City Ordinance.

Planning Commission
City of Gaithersburg
31 South Summit Avenue
Gaithersburg, MD 20877

SUBJECT: 10 Seville Way

Dear Planning Commission:

My contractor came to City Hall and was told that he just needed to apply for a permit to build an addition to my home. One week later, I was told by City staff that the addition would be required to be reviewed by the Planning Commission and that the Permit Analyst who originally handled the application had erred. Had the Permit Analyst given my contractor correct information, I would have been able to submit my application for the May 12, 2006, site plan submission date for the June Planning Commission meetings. Therefore, I am requesting the Planning Commission specifically waive this section of the Rules of Procedure with the outcome that my application be heard by the Planning Commission even though it has not been submitted within the twenty-six (26) day filing date due to an error made by City Staff.

Thank you,

Debra Lynn Hellman

EXHIBIT 1
AFP-06-019
6/7/06

PENAD 800-631-6889

10 Seville Way

AFP-06-019

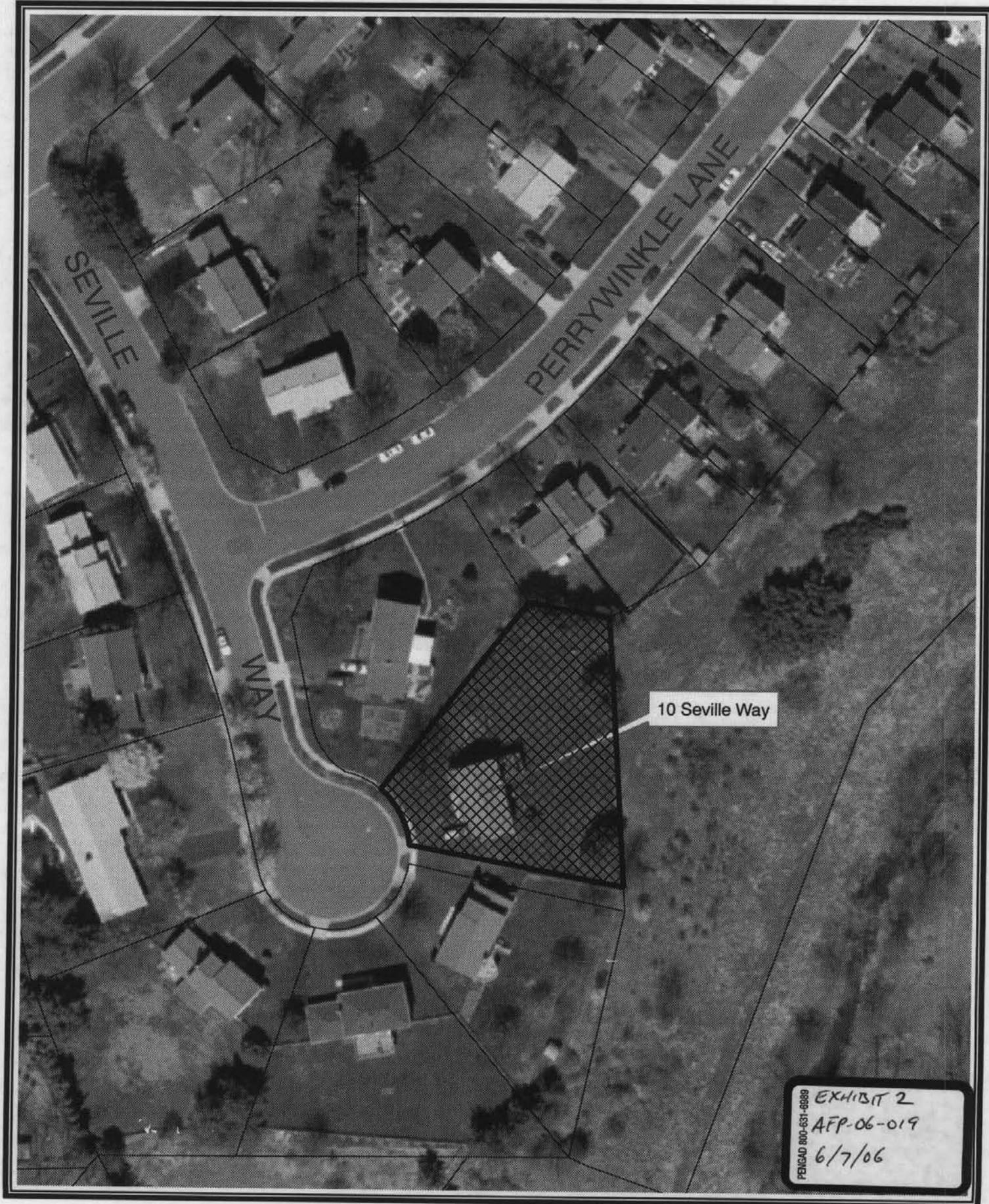


EXHIBIT 2
AFP-06-019
6/7/06

PENGAD 000-631-8080

AMENDMENT TO FINAL PLAN APPLICATION

In accordance with Section 24, Article V of the City Code

Application #	AFP-06-019
Date Filed	5/19/06
Total Fee	WAIVED TWS

1. SUBJECT PROPERTY

Project Name Tallman
 Street Address 10 Seville Way
 Zone R-90 Cluster Historic area designation ☐ Yes ☒ No
 Lot 24 Block 6 Subdivision Feasant Run
 Tax Identification Number (MUST BE FILLED IN) _____

2. APPLICANT

Name Rick Macklin
 Street Address 23220 Woodfield School Rd. Suite No. _____
 City Gaithersburg State MD Zip Code 20882
 Daytime Telephone 301-282-1546

3. ARCHITECT/ENGINEER/DEVELOPER

Architect's Name Bill Hancock
 Architect's Maryland Registration Number _____ Telephone _____
 Street Address _____ Suite Number _____
 City _____ State _____ Zip Code _____

Engineer's Name _____
 Engineer's Maryland Registration Number _____ Telephone _____
 Street Address _____ Suite Number _____
 City _____ State _____ Zip Code _____

Developer's Name _____ Telephone _____
 Street Address _____ Suite Number _____
 City _____ State _____ Zip Code _____
 Contact Person _____ Telephone _____

4. PROPERTY OWNER

Name Mr & Mrs Tallman
 Street Address 10 Seville Way Suite No. _____
 City Gaithersburg State MD Zip Code 20878
 Daytime Telephone _____

5. CITY PROJECT NUMBER

Original Site Plan Number 5-609 Date Approved _____
 Name of previously approved Final Plan _____

EXHIBIT 3
 AFP-06-019
 6/7/06

6. WORK DESCRIPTION

Please state clearly changes requested from final approved plan.

Add 11x25 Addition, Basement 1st Floor Kitchen
14x20 Deck w/steps

7. PROJECT DETAIL INFORMATION

a. POPULATION CHANGES (if any)

Changes in population estimated due to amendment.

Employee estimate: Total number _____

Total number per shift _____

Resident estimate: Total number _____

Total number per dwelling unit _____

b. PLEASE SUPPLY THE FOLLOWING INFORMATION

DEVELOPMENT INFORMATION		REQUIRED	PROVIDED
1. Site (square feet)			
2. Site Area (acres)			
3. Total Number of Dwelling Units/Lots			
4. Height of Tallest Building			
5. Green Area (square feet)			
6. Number of Dwelling Units/Acre			
7. Lot Coverage (Percent)			
8. Green Area (Percent)			
9. Residential			
a. Single Family Detached	# Units		
b. Single Family Attached	# Units		
c. Multi-Family Condo	# Units		
d. Multi-Family Apartment	# Units		
e. Other			
10. Retail/Commercial	Sq. Ft.		
11. Restaurant Class: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	Sq. Ft.		
12. Office/Professional	Sq. Ft.		
13. Warehouse/Storage	Sq. Ft.		
14. Parking			
15. Shared Parking/Waiver			
16. Other			
17. Total			

SUBMISSION REQUIREMENTS

- Set of plans per the respective checklist. Plans must be folded to 8 1/2 x 11."
- Completion of the table above.

I have read and complied with the submission requirements and affirm that all statements contained herein are true and correct.

Applicant's Name (please print) Rick Macklin

Applicant's Signature

R. Macklin

Date

5/19/06

Daytime Telephone

301-252-1546

AFP-06-019 Tallman Tel.

Mr. & Mrs. Tallman
10 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
11 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
12 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
15 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
235 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
237 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
239 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
7 RUDIS WAY
GAITHERSBURG MD 20878

OCCUPANT
9 RUDIS WAY
GAITHERSBURG MD 20878

OCCUPANT
5 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
7 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
240 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
242 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
244 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
246 PERRYWINKLE LA
GAITHERSBURG MD 20878

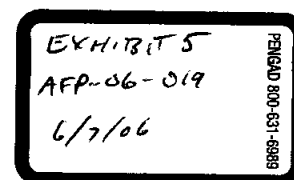
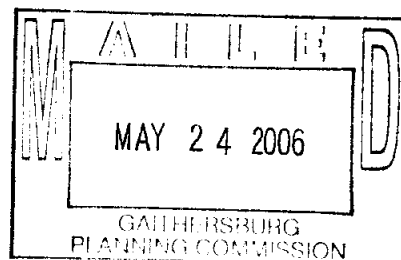
OCCUPANT
248 PERRYWINKLE LA
GAITHERSBURG MD 20878

OCCUPANT
8 SEVILLE WAY
GAITHERSBURG MD 20878

OCCUPANT
9 SEVILLE WAY
GAITHERSBURG MD 20878

RAJ K & M R PURI
11412 RIDGE MIST TER
POTOMAC MD 20854

Rick Macklin
MACKLIN CONTRACTING INC.
25220 WOODFIELD SCHOOL RD.
GAITHERSBURG MD 20882



PC Tent. Agenda for 7-jun-06 Mtg.

Window & Door Schedule

Symbol	Width	Height	Type
A	2/8	4/0	DBL Hg
B	2/8	4/2 Twin	DBL Hg
C	2/8	4/10	DBL Hg
D	2/8	4/10 Twin	DBL Hg
E	3/6	3/2	DBL Hg
F	2/0	6/8	DBL Hg

Windows are Vinyl, Dbl Glazed, Low E
Sizing are nominal

7. All rafters and joists shall have wood or metal crossbracing at 8' OC or at center of span whichever is less.
8. Continuous Load Paths: Steel hardware connectors to guard against uplift forces shall be installed from the foundations to the roof rafters of all studs. These shall include but not be limited to foundation connectors, floor to floor connectors, and roof to rafter hurricane connectors/anchors.
9. Minimum bearing for wood joist, rafters and beams shall be 3 1/2 inches on wood and 4" on masonry.
10. Install wood joist hanger & wood beam hanger connections as follows:
Joist hanger min. capacity - 800#
Beam hanger min. capacity - 3600#
11. Install minimum double studs at jacks of all openings in walls or as shown on plan.
12. All manufactured trusses are to be in accordance with ASCE 7-95.
13. General: Firestopping shall be provided IAW IRC 602.8.
Draftstopping shall be provided IAW IRC 602.8.
Provide Radon Mitigation IAW IRC Appendix F.
Provide interconnecting smoke detectors to protect all floors, bedrooms, and basement IAW IRC R-317.

Wood Framing

1. Unless otherwise noted all interior partitions to be constructed with 2 x 4 studs, 16" OC, with double top plate. Minimum 2 x 12 header/ribs at all openings in bearing or exterior walls. Sheathing to be 1/2" CDX plywood or OSB.
2. All framing lumber to have a minimum allowable extreme fiber bending stress of 1200 PSI (Fb=1200 PSI) and a minimum modulus of elasticity E=1,200,000 PSI.
3. All floor decks are to be glued to supporting beams and joists with PL-400 adhesive as manufactured by "Gorilla" or equal.
4. All wood beams made of two or more members shall be glued with PL-400 adhesive and nailed together @ 12".
5. All wood joints made up of multiple pieces shall be glued with PL-400 adhesive and nailed @ 12" on both sides.
6. Directly under partitions which run to joists (and are otherwise unsupported) install double joists.

General Construction Notes

All work shall conform to all Local and National Ordinances & Building Codes applicable to this project, including but not limited to IRC 2003. Minimum design Live Load shall conform to IRC Table R-301.4. Glazing to comply with IRC Table R-308.4.

DO NOT USE SCALE

Always use figure dimensions in preference to scale and verify all dimensions at the construction site.

Design Loads	
Roof Live Load	30 Lbs/SF
1st Flr Live Load	40 Lbs/SF
2nd Flr Live Load	30 Lbs/SF
Attic Live Load	20 Lbs/SF (if applicable)

Footings Subgrade

1. Contractor shall verify that subgrade under all footings is capable of sustaining 2,000 Lbs Per Sq. Ft., minimum allowable soil bearing value 2000 PSF.
2. Footing shall be placed on undisturbed soil, and footing design is based on 2000 PSF or better.

Concrete

1. Concrete for this project shall be normal weight (145 PCF).
2. Concrete shall have minimum 28 day strength of 3000 PSI.
3. All reinforcing bar shall be Grade 60 (Fy=60,000 PSI).
4. All reinforcing shall conform to "Specifications for deformed Bar and Steel Bars for concrete reinforcement (ASTM 1 615-60) Welded wire fabric shall conform to latest ASTM A-185.
5. Reinforcement for the exchange of concrete work, if not continuous, and reinforcement for temperature and all other purposes not specifically provided, shall lap 30 bar diameters or 18 inches minimum of all splices, or shall have ends of the same bar size and spacing as that of reinforcing to be spliced or work to be connected.
6. Minimum concrete protection for reinforcement:
Concrete deposited against ground 3 inches
Formed concrete in contact with ground 2 inches
Formed concrete not in contact with ground 1 1/2 inches

Preparation for Floor Slab

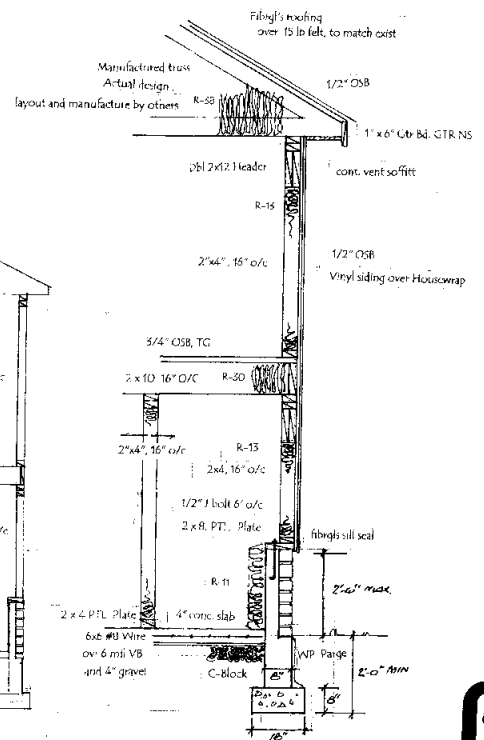
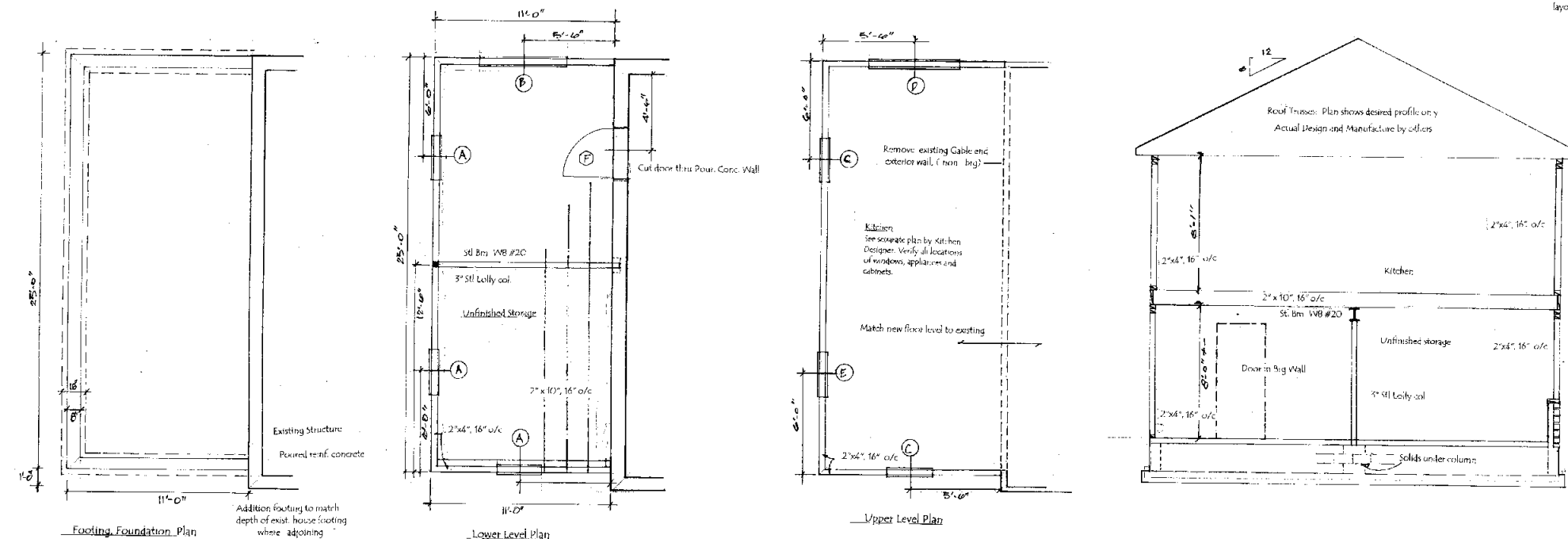
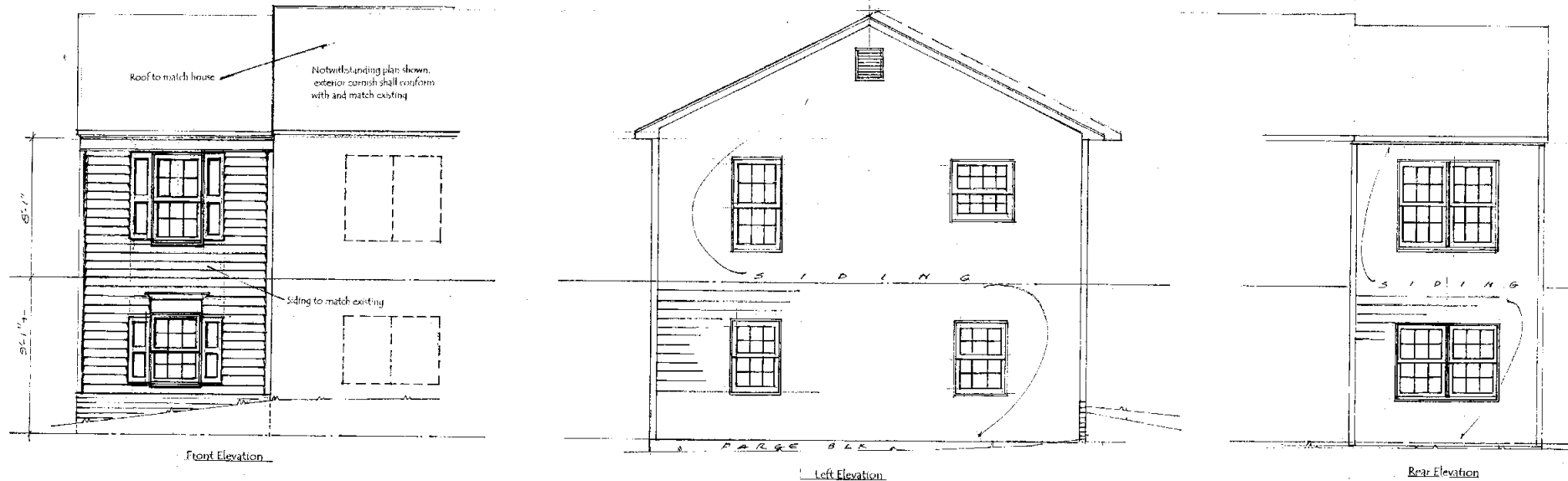
1. Remove all vegetation and top soil containing organic materials from the entire area to be covered by the building.
2. If fill is required to raise the slab, scarify the sub grade to a depth of six inches and recompact to a minimum density of 92 per cent and a maximum of 98 per cent of standard proctor density (ASTM D-698) with a minimum content of or slightly above optimum.
3. Install fill in loose lifts of 6 inches thick and uniformly compacted as in the note above.
4. Fill materials shall be a very sandy clay to caliche sand with a plasticity index (P.I.) of between 2 and 15.

Headers

1. All headers are to be double 2" x 12" unless specifically noted otherwise.

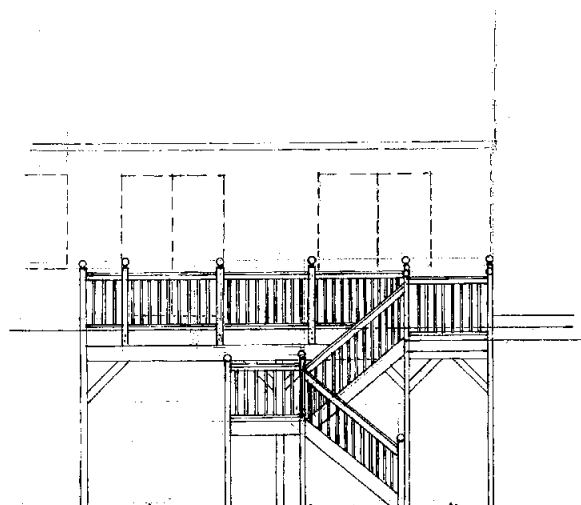
Nailing

1. See Nail Schedule, R 602.3(1) for walls and floors.

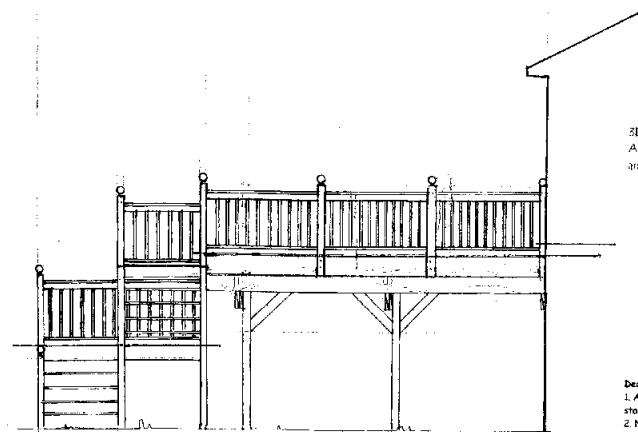


GENERAL VERTICAL SECTION - NTs
Typical Details for all Sections shown

EXHIBIT 6
AFP-06-019
6/7/06



Rear Elevation



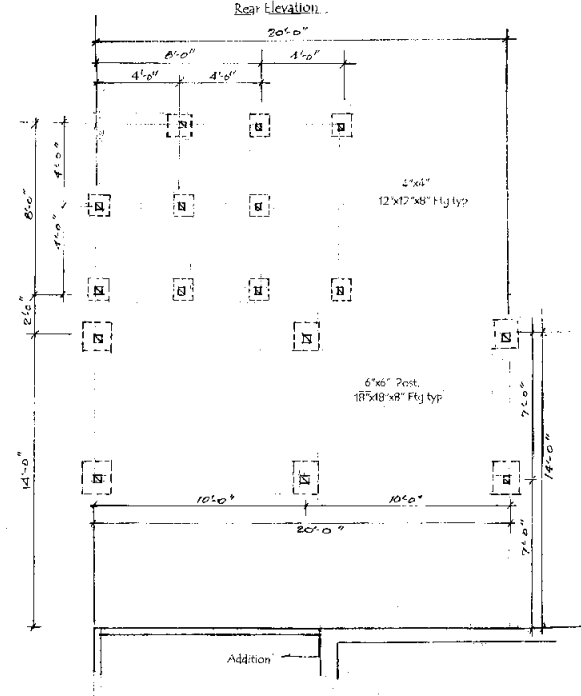
Right Elevation

Scale 1/4" = 1'

DO NOT USE SCALE
Always use figure dimensions in preference to scale and verify all dimensions at the construction site.

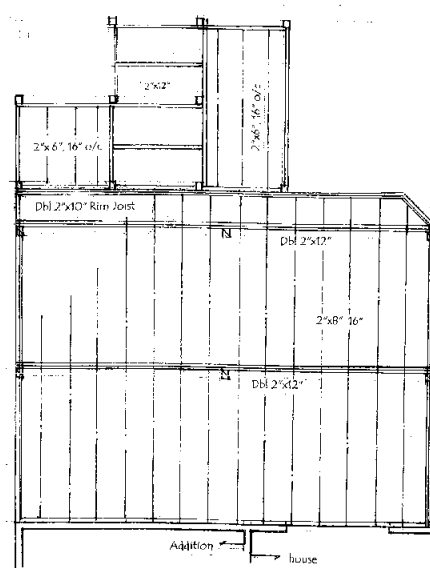
Deck Nailing and Bolting

1. All nails, bolts, screws and anchors must be galvanized, stainless steel, or other non-corroding material.
2. Nails for attaching framing members must be 17d min.
3. Nails for attaching decking must be 8d min.
4. Double joists or beams must be nailed every 12"
5. All bolts to be carriage or wedge type.
6. Lead shields may not be used.

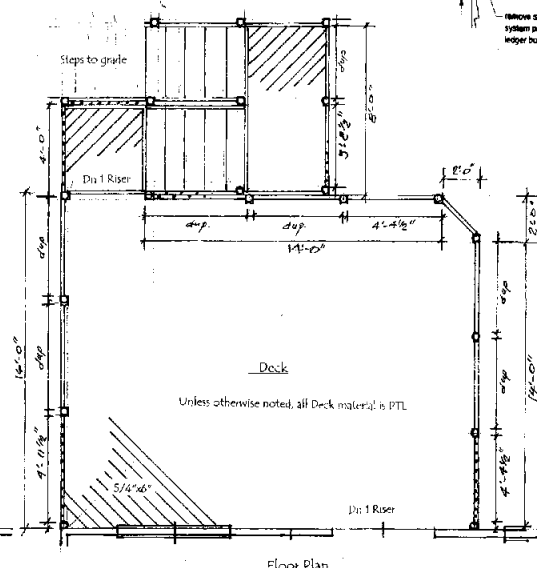


Footings/Foundation Plan

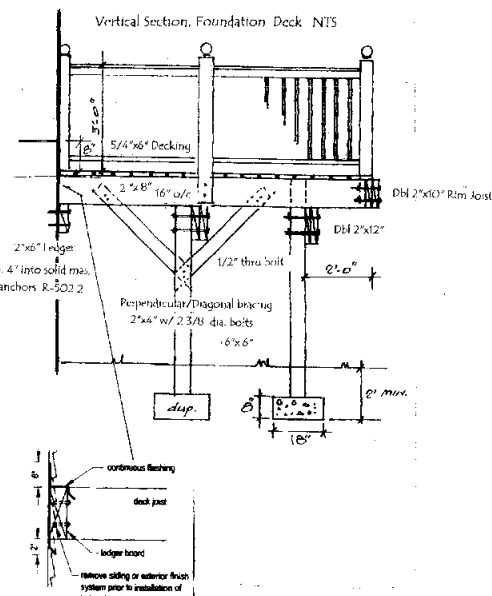
All deck material PTL unless otherwise shown



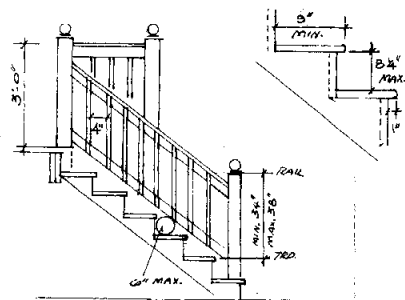
Floor Framing Plan



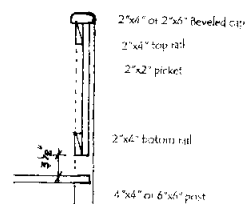
Deck Floor Plan



Vertical Section, Foundation Deck, NTS



Deck Stair Detail (typical)



Stairways shall be illuminated in accordance with IRC 2000, R-505.4. Light must be in the immediate vicinity of the top of the stairs.

Handrail Required with two or more risers.

Handrail at steps must be "graspable" and must terminate in a newel post or the ends must be returned. "Graspable" cross section, 1 1/4" to 2 5/8"

Stairnose shall be 2"x12" Treads 2"x10" min. Rise shall not exceed 8 1/4"

Nosing shall be minimum 1" If not a "closed nosing" opening may not exceed 4" 2"x4" or 2"x6" Beveled cap 2"x4" top rail 2"x2" picket 2"x4" bottom rail 4"x4" or 6"x6" post

Space between pickets shall not exceed 4"